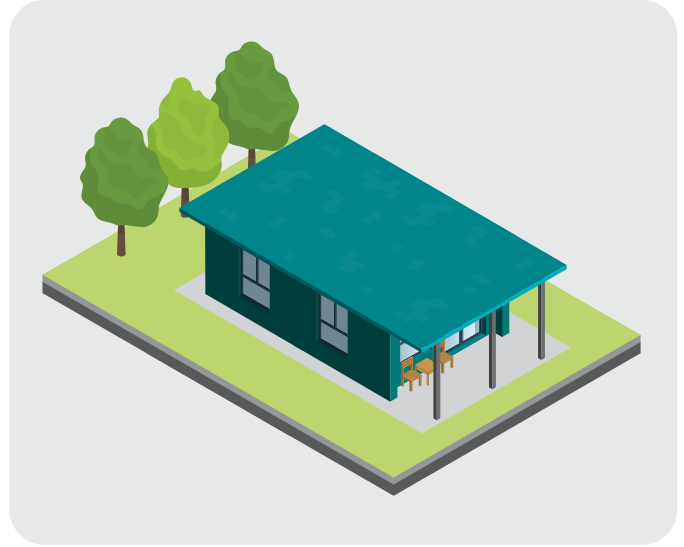


CONVERTING A CLASS 10A (SHED OR GARAGE) TO A DWELLING

Class 10a buildings (such as a private garage, carport, shed, or the like) are defined as non-habitable buildings in the National Construction Code (NCC) and are not permitted to be used for residential purposes without approval from the Local Government (refer Section 119 of the Building Act 1975).

Property owners who therefore wish to use a Class 10a for residential purposes and incorporate habitable rooms in the building, e.g. kitchen, bedroom, living room, dining room, must not do so without first obtaining all relevant approvals to permit this use.

In addition, the Class 10a building must be upgraded to the minimum standard of a Class 1a dwelling, as required by the NCC, prior to the building being occupied for residential purposes.



WHAT TYPE OF APPROVALS WOULD I NEED?

- ✓ Building Approval from a Private Building Certifier to change the classification of the building from 10a to 1a (see below for more information); and
- ✓ Plumbing Compliance Permit from Council, to be obtained prior to any plumbing work carried out. Any plumbing or drainage work carried out without approval will need to be inspected and upgraded if necessary to comply with the Plumbing Code of Australia.

Please note: Depending on the site conditions, this application may also trigger a Development Application (Town Planning). Fluid Building Approvals offers a Preliminary Planning Check for \$275.00, to determine if any town planning will be required

WHAT DOCUMENTATION FOR A BUILDING APPROVAL WOULD I NEED?

The following information is typically required to be submitted to Fluid Building Approvals as part of the building application process:

GENERAL

- Completed Engagement Agreement (Fluid will provide this to you).
- QBCC Home Warranty Insurance if a licensed builder is to carry out the work and the work is valued at over \$3300.
- Owner-Builder permit if the owner is to carry out the work and the work is valued at over \$11,000.
- Portable Long Service Levy receipt if the value of work is greater than \$150,000.
- Payment of the building approval fee.

ARCHITECTURAL PLANS

- Site plan, scale 1:200, incorporating existing buildings, boundary clearances, site levels & north point.
- Floor plan, scale 1:100, fully dimensioned, including door & window sizes, room layouts, and location of hard-wired smoke detectors.
- Elevation plan, scale 1:100, minimum 2 elevations, showing ceiling height & slab height.

OTHER DOCUMENTATION

- Energy efficiency assessment (Fluid can arrange this for you if required).
- Structural design plans—Engineer's design drawings and certificate (Form 15).
- A Form 16 (inspection certificate) may be required for the footings/slab/frame stages.

IMPORTANT ISSUES TO NOTE

The following points should be considered, as not all Class 10a buildings may be suitable to be converted into a Class 1a dwelling.



Siting Requirements:

The local Council will stipulate the minimum boundary clearances for buildings and structures. In most suburban locations a minimum setback of 1.5m is required from the outermost projection (fascia) to the side and rear boundaries for a dwelling. In some circumstances where converting from a shed to a dwelling, a development application or siting variation (relaxation) may be required if the Class 10a is located closer to the boundary. Approvals for building closer to the boundary are at the full discretion of Council.



Structural Inspections:

The applicant will need to demonstrate to the certifier that the conversion of the Class 10a to a Class 1a room complies with the NCC requirements. This may require an inspection being carried out by an RPEQ Engineer on the adequacy of the existing slab or structural frame and may result in the upgrading of the building being required.



Vapour Barrier:

The applicant will need to demonstrate that the building is provided with a vapour barrier (damp-proof membrane) under the slab, in accordance with the NCC requirements, or an equivalent barrier is provided to protect against ground moisture.



Termite Barrier:

All 'primary building elements', as defined by the NCC, must be protected from termite attack. This includes all members which take building loads but also includes door jambs, window frames and reveals, architraves and skirtings. Therefore a steel framed shed may still need a termite barrier if all of the above elements are not termite-resistant.



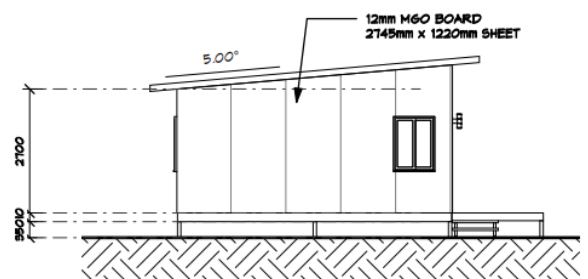
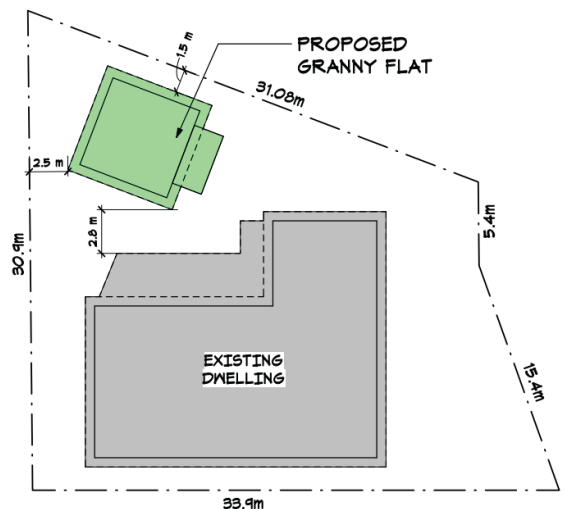
Slab and Ceiling Height:

The building would need to comply with NCC requirements for finished slab height to protect against surface water inundation. In addition, ceiling height requirements for habitable and non-habitable rooms would need to be met.



Flood and Bushfire Hazard Areas:

If the building is located within a flood hazard overlay under the local Council's Planning Scheme, and has a defined flood level, there will be a minimum flood level required and this may require further assessment by a building certifier and structural engineer against the Queensland Development Code MP3.5, Construction of buildings in flood hazard areas. If a bushfire hazard overlay covers the building site, the building may need to comply with AS3959, Construction of buildings in bushfire-prone areas. The building certifier may be able to determine the 'Bushfire Attack Level', or if the site is particularly constrained a bushfire expert may be required.



USEFUL LINKS

Council PD Online Links:

Brisbane City Council: <https://pdonline.brisbane.qld.gov.au/>

Moreton Bay Regional Council: <http://pdonline.moretonbay.qld.gov.au/>

Ipswich City Council: <http://pdonline.ipswich.qld.gov.au/>

Logan City Council: <http://pdonline.logan.qld.gov.au/>

Redland City Council: <http://pdonline.redland.qld.gov.au/>

Gold Coast City Council: <http://pdonline.goldcoast.qld.gov.au/>

Council Property Report / Interactive Mapping Links:

Brisbane City Council: <http://cityplan2014maps.brisbane.qld.gov.au/CityPlan/>

Moreton Bay Regional Council: <https://www.moretonbay.qld.gov.au/mbrc-planning-scheme/mplu/>

Ipswich City Council: N/A

Logan City Council: <http://www.loganinteractivemapping.com.au/>

Redland City Council: <http://gis.redland.qld.gov.au/redemap/>

Gold Coast City Council: <http://cityplanmaps.goldcoast.qld.gov.au/CityPlan/>

Other Useful Links:

National Construction Code: <http://www.abcb.gov.au/ncc-online/NCC>

Dial Before You Dig: <https://www.1100.com.au/>

Queensland Development Code MP1.1: <http://www.hpw.qld.gov.au/SiteCollectionDocuments/mp1-1.pdf>

Queensland Development Code MP1.2: <http://www.hpw.qld.gov.au/SiteCollectionDocuments/mp1-2.pdf>

Queensland Development Code MP1.4:

<http://www.hpw.qld.gov.au/SiteCollectionDocuments/QDCMP1.4BuildingOverOrNearRelevantInfrastructureNov2013.pdf>

NEED MORE HELP?

Contact our Logan Office on

(07) 3445 3934

or email your plans to

logan@fluidapprovals.com.au

Disclaimer:

This information is based on the planning scheme and relevant legislation, and is up to individual interpretation. The information in this document is provided as a guide only and will not override a site specific assessment. It may be necessary to check with relevant qualified persons when interpreting these requirements, or engage Fluid for a preliminary assessment of the project. This guide is not for commercial distribution and is the sole property of Fluid Building Approvals.