

The following information has been provided as a guide only, for the general setback requirements as the relevant Local Council. The setbacks listed in the document relate to the most commonly encountered residential zone types and as such, there may be times when the relevant zone is not listed in the above document.

Before using this guide to determine the setbacks, please ensure you have completed a free Council PD online search for the property to determine the relevant zoning applicable to the site.

The PD online search is a useful tool as it will also provide details of overlay constraints on the property, which may affect the proposed building works. Councils also have interactive mapping services which will outline the location of affected overlays on the site.

In Gold Coast City Council, to determine the zoning and overlays affecting the property, you must access the property report through the interactive mapping tool.

The following information has been provided as a guide only, and has not considered individual site conditions, including but not limited to:

- Existing Development Approvals
- Plan of Developments
- Building Envelopes
- Overlays
- Infrastructure
- Compliance with NCC requirements
- Easements & Covenants

This information is based on the planning scheme and relevant legislation, and is up to individual interpretation. The information in this document is provided as a guide only and will not override a site specific assessment. It may be necessary to check with relevant qualified persons when interpreting these requirements, or engage Fluid for a preliminary assessment of the project.



This guide is not for commercial distribution and is the sole property of Fluid Building Approvals.

Brisbane City Council

Zone	Lot Type	Front Setback	Side Setback	Rear Setback	Site Cover
All Zones	Small Lot * (less than 450m ²)	6m	1m	6m	50%: lots 400m ² or more
					60%: lots 300m ² - 399m ²
					70%: lots 200m ² - 299m ²
					80%: lots less than 200m ²
	Large Lot * (450m ² or more)	6m	Height under 4.5m: 1.5m Height 4.5m – 7.5m: 2m Height over 7.5m: 2m plus 0.5m for every 3m exceeding 7.5m	50%	

On a corner lot, treat each road boundary as the front setback. No building work permitted within the 9x9m truncation.

On a Large Lot, carports & sheds can be located closer to the side and rear boundary than listed in the table above, provided they meet all of the following criteria:

- Height of the structure (within the listed boundary setback above), is not over 4.5m, and;
- Mean height of the structure is not over 3.5m (within the listed boundary setback above), and;
- The total length of all buildings or structures within the setback does not exceed 9m, and;
- The structure is located no closer than 1.5m to a window of a habitable room of the adjoining dwelling.

On a Small Lot*, non-compliance with all aspects of the Small Lot Code will trigger a Development Application (Town Planning). It is common for minor additions to the site to trigger this application as there are further requirements as outlined in the City Plan 2014. The maximum allowable combined building length on a small lot is 25m.

Some common exemption rules for Small Lots are:

1 x Single Carport:

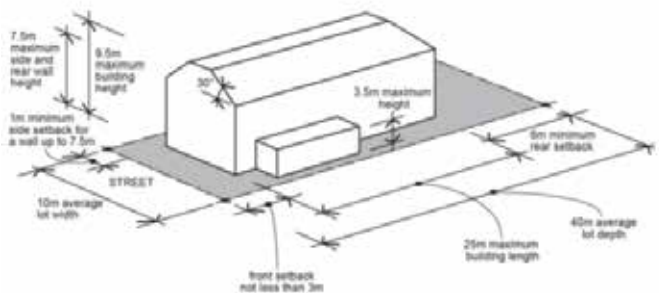
- maximum depth 6m (excluding eaves); and
- maximum width 3m (excluding eaves).

1 x Double Carport:

- maximum depth 6m (excluding eaves); and
- maximum width 6m (excluding eaves); and
- minimum side boundary setback 1.5m; and
- minimum front boundary setback 2m; and
- maximum crossover width 4.5m; and
- where on a lot with a street frontage width of 15m or greater, and the total building footprint of the dwelling and carport does not exceed 50%.

1x Shed:

- maximum roofed area 10m²; and
- maximum height 3m.



If the building work complies with all of the above requirements and qualifies for exemption from Small Lot requirements, if the structure is within the setbacks as per the table above, a siting variation application will still be required.



GENERAL SETBACKS GUIDE

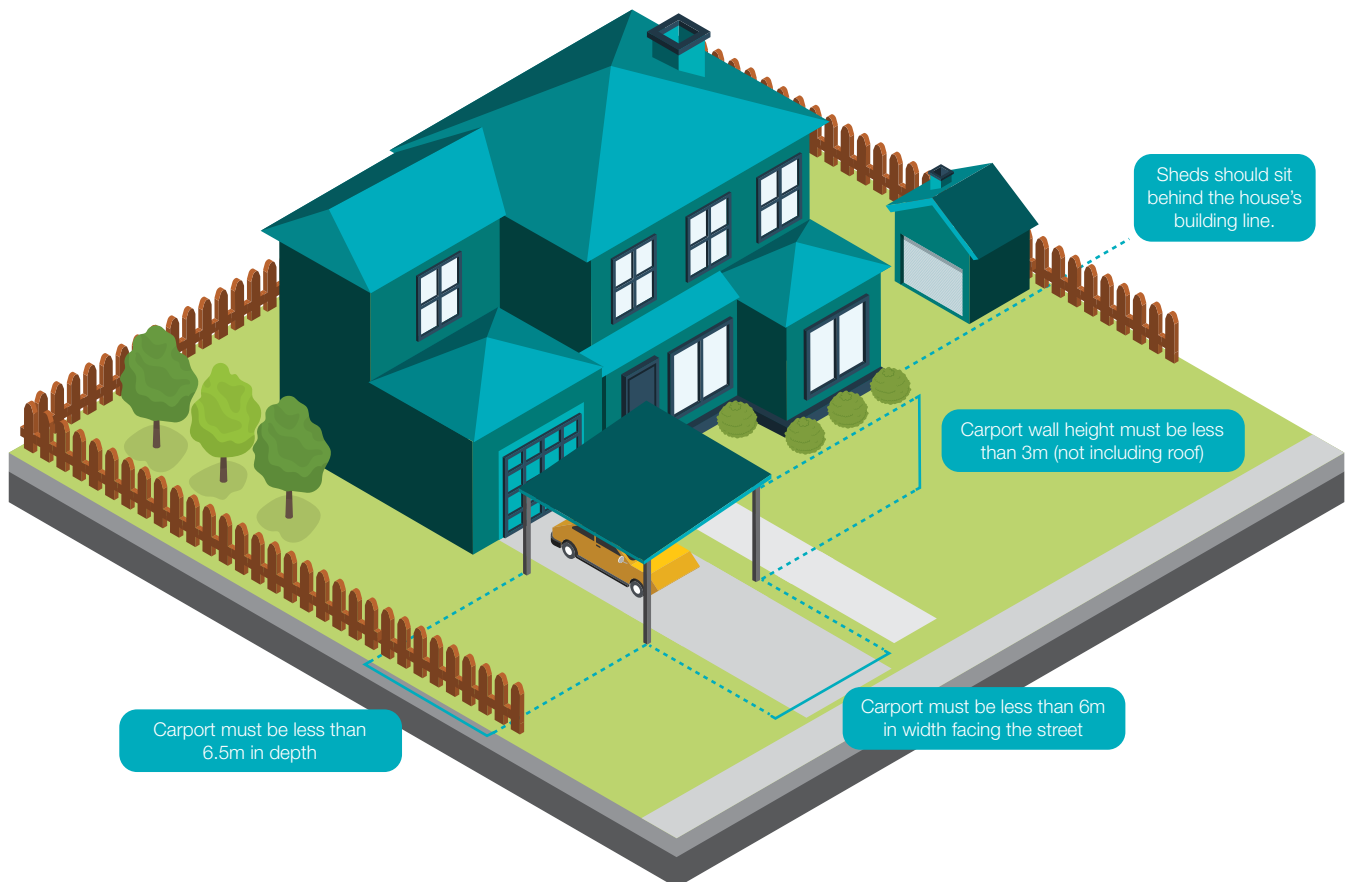
Moreton Bay Regional Council

Zone	Lot Type	Primary Setback	Secondary Street Setback	Car Parking	Side Setback	Rear Setback	Canal Setback	Site Cover
Redcliffe Kippa-Ring	Interim Residential	6m to wall 4.5m to OMP	3m to wall 2m to OMP	5.4m	Height under 4.5m: 1.5m Height 4.5m - 7.5m: 2m Height over 7.5m: 2m plus 0.5 for every 3m exceeding 7.5m		4.5m	50%**
General Residential	Suburban Neighbourhood	4.5m to wall 3m to OMP	3m to wall 2m to OMP	5.4m	Height under 4.5m: 1.5m Height 4.5m - 7.5m: 2m Height over 7.5m: 2m plus 0.5 for every 3m exceeding 7.5m		4.5m	50%**
	Next Generation Neighbourhood	3m to wall 2m to OMP	2m to wall 1m to OMP	5.4m			4.5m	60%**
	Urban Neighbourhood	1m to wall 1m to OMP	1m to wall 1m to OMP	5.4m			4.5m	60%**
	Coastal Communities	6m to wall 4.5m to OMP	3m to wall 2m to OMP	5.4m			4.5m	50%**
Emerging Community	Transition Precinct	1m to wall 1m to OMP	1m to wall 1m to OMP	5.4m	Height under 4.5m: 1.5m Height 4.5m - 7.5m: 2m Height over 7.5m: 2m plus 0.5 for every 3m exceeding 7.5m		4.5m	60%**
	Transition Precinct - Morayfield South Urban Area	3m to wall 2m to OMP	2m to wall 1m to OMP	5.4m			4.5m	60%**
Rural	Rural	6m	6m	n/a	4.5m	4.5m	n/a	50%
	Hamlet Precinct	6m	6m		Lots 1000m ² or less: 1.5m Lots over 1000m ² : 3m	4m		50%
Rural Residential	Rural Residential	6m	6m		Height 3m or under: 1.5m Height over 3m: 4.5m	Height 3m or under: 1.5m Height over 3m: 4.5m		Lots 1ha or less: 15% of site or 750m ² , whichever is lesser. Lots greater than 1ha: 7.5% or 1500m ² , whichever is lesser.
Township	Township	6m	6m		2.5m	6m		50%

** Carports, patios and unenclosed structures are excluded from site cover in this zone.

At present, Moreton Bay Regional Council are unlikely to support the following:

- A carport within the front setback where there are no other similar structures in the street
- A carport that exceeds 6m in width facing the street
- A carport that exceeds 6.5m in depth within the front setback
- A carport that exceeds a wall height of over 3m
- A shed in front of the dwelling building line





Ipswich City Council

Zone	Lot Type	Front Setback	Side Setback	Rear Setback	Site Cover
All Zones	Small Lot (less than 450m ²)	6m	Height under 4.5m: 1.5m Height 4.5m – 7.5m: 2m Height over 7.5m: 2m plus 0.5m for every 3m exceeding 7.5m		50%
	Large Lot (450m ² or more)	6m	Height under 4.5m: 1.5m Height 4.5m – 7.5m: 2m Height over 7.5m: 2m plus 0.5m for every 3m exceeding 7.5m		50%

On a corner lot, treat each road boundary as the front setback. No building work permitted within the 9x9m truncation.

As per the Queensland Development Code, MP1.1 & MP1.2, carports & sheds can be located closer to the side and rear boundary than listed in the table above, provided they meet all of the following criteria:

- Height of the structure (within the listed boundary setback above), is not over 4.5m, and;
- Mean height of the structure is not over 3.5m (within the listed boundary setback above), and;
- The total length of all buildings or structures within the setback does not exceed 9m, and;
- The structure is located no closer than 1.5m to a window of a habitable room of the adjoining dwelling.

DID YOU KNOW?

In some zones a Development Application will be required if the proposed building work is not directly attached to the existing dwelling (a direct extension).

Detached sheds, garages and stand alone sheds will trigger a Code Assessment (Town Planning) Application in the following zones:

- Recreation Zone
- Major Centres Zone
- Conservation Zone
- Limited Development Zone
- Special Uses Zone
- Special Opportunities Zone

Other commercial and industry zones may also trigger this requirement, however for the purpose of this information guide, only the common zones have been listed.

AMENITY & AESTHETICS

An amenity & aesthetics application will be required for a Class 10 building which:

- Is more than 1 storey in height; or
- Has any wall height of more than 3.6m (measured along the pitching line); or
- Has a roof/plan area exceeding 80m² on a parcel of land less than 2,000m² in area; or
- Has a roof/plan area exceeding 100m² on a parcel of land between 2,000m² and 1.5ha in area; or
- Is erected on vacant land (not containing a dwelling).

An A&A application is separate to a relaxation application and will incur additional fees if required.

Logan City Council

Zone	Precinct	Road Setback	Side Setback	Rear Setback	Site Cover	Domestic Outbuilding GFA
Emerging Community Zone	n/a	20m	3m	3m	10% or 700m ² , whichever is greater	150m ²
Environmental Management & Conservation Zone	Conservation	20m	10m	10m	10% or 700m ² , whichever is greater	150m ²
	Environmental Management	20m	10m	10m		
	Rural Environmental Management	20m	10m	10m		
Low Density Residential Zone	Acreage	10m	3m	3m	20% or 700m ² , whichever is greater	110m ²
	Large Suburban	6m	1.5m*	1.5m*	40%	60m ²
	Small Acreage	10m	3m	3m	35%	110m ²
	Small Lot	4m	1.5m*	1.5m*	60%	60m ²
	Suburban	6m	1.5m*	1.5m*	50%	60m ²
	Village	6m	1.5m*	1.5m*	50%	60m ²
Low-Medium Density Residential Zone	Apartment	4m	1.5m*	1.5m*	50%	N/A for this zone
	Townhouse	4m	1.5m*	1.5m*	50%	N/A for this zone
Medium Density Residential Zone	High Rise	6m	1.5m*	1.5m*	50%	N/A for this zone
	Medium Rise	6m	1.5m*	1.5m*		
Rural Zone	Farming	20m	10m	10m	10% or 700m ² , whichever is greater	150m ²
	Rural Tourism	20m	10m*	10m		
Rural Residential Zone	Carbrook	10m unless with road frontage to Mount Cotton Rd or Beenleigh-Redland Bay Rd 20m with road frontage to Mount Cotton Rd or Beenleigh-Redland Bay Rd	3m	3m	10% or 700m ² , whichever is greater	150m ²

** Carports, patios and unenclosed structures are excluded from site cover in this zone.

Logan City Council

Zone	Precinct	Road Setback	Side Setback	Rear Setback	Site Cover	Domestic Outbuilding GFA
Rural Residential Zone	Cottage Rural	10m	3m	3m	10% or 700m ² , whichever is greater	150m ²
	Park Living	10m	3m	3m	20% or 700m ² , whichever is greater	110m ²
	Park Residential	10m	3m	3m	20% or 700m ² , whichever is greater	110m ²

Any setbacks marked with the * are as per the Queensland Development Code. Structures exceeding 4.5m in height will require a greater side/rear setback than 1.5m.

In the Queensland Development Code, MP1.1 & MP1.2, carports & sheds can be located closer to the side and rear boundary than listed in the table above, provided they meet all of the following criteria:

- Height of the structure (within the listed boundary setback above), is not over 4.5m, and;
- Mean height of the structure is not over 3.5m (within the listed boundary setback above), and;
- The total length of all buildings or structures within the setback does not exceed 9m, and;
- The structure is located no closer than 1.5m to a window of a habitable room of of the adjoining dwelling.

DID YOU KNOW?

The domestic outbuilding gross floor area (gfa) ~ amount only applies to the combined area of detached garages and sheds.

This does not change the site coverage requirements, in which all buildings and structures must be included in the site coverage calculation.



Redlands City Council

Zone	Front Setback	Side Setback	Rear Setback	Site Cover	Domestic Outbuilding GFA ~~
Conservation Zone	10m for lots less than 2ha 20m where 2ha or more, or, 10m where screened by planted landscaping	10m for lots less than 2ha 20m where 2ha or more, or, 10m where screened by planted landscaping	10m for lots less than 2ha 20m where 2ha or more, or, 10m where screened by planted landscaping	1000m ²	As per Table 1
Emerging Urban Community					
Environmental Protection					
Investigation					
Park Residential	10m for lots less than 2ha 20m where 2ha or more, or, 10m where screened by planted landscaping	10m for lots less than 2ha 20m where 2ha or more, or, 10m where screened by planted landscaping	10m for lots less than 2ha 20m where 2ha or more, or, 10m where screened by planted landscaping	30%	As per Table 1
Rural - Non - Urban	10m for lots less than 2ha 20m where 2ha or more, or, 10m where screened by planted landscaping	10m for lots less than 2ha 20m where 2ha or more, or, 10m where screened by planted landscaping	10m for lots less than 2ha 20m where 2ha or more, or, 10m where screened by planted landscaping	Lot size 4ha or less: 1000m ² Over 4ha: 1000m ² + 2.5% of every m ² over 4ha	As per Table 1
Low Density Residential	6m*	1.5m*	1.5m*	30%	As per Table 1
Medium Density Residential	6m*	1.5m*	1.5m*	50%	As per Table 1
Urban Residential	6m*	1.5m*	1.5m*	50%	As per Table 1
SMBI Residential	6m*	1.5m*	1.5m*	50%	As per Table 1

Any setbacks marked with the * are as per the Queensland Development Code. Structures exceeding 4.5m in height will require a greater side/rear setback than 1.5m.



REDLANDS CITY COUNCIL

GENERAL SETBACKS GUIDE

In the Queensland Development Code, MP1.1 & MP1.2, carports & sheds can be located closer to the side and rear boundary than listed in the table above, provided they meet all of the following criteria:

- Height of the structure (within the listed boundary setback above), is not over 4.5m, and;
- Mean height of the structure is not over 3.5m (within the listed boundary setback above), and;
- The total length of all buildings or structures within the setback does not exceed 9m, and;
- The structure is located no closer than 1.5m to a window of a habitable room of the adjoining dwelling.

Lot Size	Max Domestic Outbuilding Size	Overall Height	Wall Height	Opening to Street Frontage
Less than 450m ²	36m ²	2.5m	2.4m	3m
451m ² - 2000m ²	54m ²	3.5m	2.7m	6m
2001m ² - 6000m ²	80m ²	4.5m		
6001m ² - 15000m ²	100m ²	4.5m		
Greater than 15000m ²	200m ²	4.5m		

The above applies to domestic outbuildings only (carports, sheds and detached garages). A patio is not a domestic building

Please note: Non-compliance with setbacks in some zones within the Redlands Shire will trigger a Development Application, not a relaxation.



Gold Coast City Council

Zone	Road Setback	Side Setback	Rear Setback	Site Cover
Low Density Residential	6m	Height under 4.5m: 1.5m Height 4.5m - 7.5m: 2m Height over 7.5m: 2m + 0.5m for every 3m exceeding 7.5m		50%
Medium Density Residential	Large lot: 4m			
	Small lot: 4m	Height under 3m: 0m Height up to 4.5m: 1.0m Height 4.5m - 7.5m: 1.5m For that part exceeding 7.5m: 2m	6m	50%
Emerging Community	10m	6m	6m	5%
Rural	10m	6m	6m	50%
Rural Residential	6m	3m	3m	15%
Township	6m	Height under 4.5m: 1.5m Height 4.5m - 7.5m: 2m Height over 7.5m: 2m + 0.5m for every 3m exceeding 7.5m		50%

AMENITY & AESTHETICS

Where the proposed Class 10 Structure does not comply with the below, an Amenity & Aesthetics application will be required.

Lot Size	Max Domestic Outbuilding Size	Overall Height	Mean Height
Less than 800m ²	36m ²	4.5m	3.5m
801m ² - 2000m ²	54m ²		
2001m ²	72m ²		
4001m ² - 8000m ²	108m ²		
8000m ² - 40,000m ²	150m ²		
Over 40,000m ²	Exempt		



LOCAL COUNCIL

GENERAL SETBACKS GUIDE



PD Online Links

Brisbane City Council:	https://pdonline.brisbane.qld.gov.au/
Moreton Bay Regional Council:	http://pdonline.moretonbay.qld.gov.au/
Ipswich City Council:	http://pdonline.ipswich.qld.gov.au/
Logan City Council:	http://pdonline.logan.qld.gov.au/
Redland City Council:	http://pdonline.redland.qld.gov.au/
Gold Coast City Council:	http://pdonline.goldcoast.qld.gov.au/



Property Report / Interactive Mapping Links

Brisbane City Council:	http://cityplan2014maps.brisbane.qld.gov.au/CityPlan/
Moreton Bay Regional Council:	https://www.moretonbay.qld.gov.au/mbrc-planning-scheme/mplu/
Ipswich City Council:	N/A
Logan City Council:	http://www.loganinteractivemapping.com.au/
Redland City Council:	http://gis.redland.qld.gov.au/redemap/
Gold Coast City Council:	http://cityplanmaps.goldcoast.qld.gov.au/CityPlan/



Other Useful Links

Dial Before You Dig:	https://www.1100.com.au
QLD Development Code MP1.1:	http://www.hpw.qld.gov.au/SiteCollectionDocuments/mp1-1.pdf
QLD Development Code MP1.2:	http://www.hpw.qld.gov.au/SiteCollectionDocuments/mp1-2.pdf
QLD Development Code MP1.4:	http://www.hpw.qld.gov.au/SiteCollectionDocuments/QDCMP1.4BuildingOverOrNearRelevantInfrastructureNov2013.pdf
National Construction Code	https://www.abcb.gov.au/Resources/NCC